

The New Construction Inspection



Ronald D. Scott, P.E.

It would seem like an independent inspection would not be necessary for a newly constructed home. It's "brand new", and should be perfect ----- shouldn't it? In a perfect world, it probably would be. But in the real world we all live in, a sufficient number of findings are identified in most homes, to more than justify the cost of an inspection. The typical list includes construction oversights or deficiencies, substandard workmanship, improper installation of mechanical components, and building code violations. While not common, a major foundation or structural defect, or a construction deficiency is sometimes identified. The causes for this are many, and include: a high level of new construction activity; unqualified workmen and/or supervisors; building plans without adequate detail and specifications; and, the pressure of demanding construction schedules. So, don't make the mistake of thinking that it is not worth the cost of an inspection to insure that the investment in your home is a sound decision.

THE FOLLOWING IS A "SAMPLE" REPORT FOR A NEW CONSTRUCTION EVALUATION, AND INCLUDES SOME OF THE TYPICAL FINDINGS IN AN EVALUATION OF THIS TYPE.

NEW CONSTRUCTION: INSPECTION REPORT

Prepared For: NEW HOME BUYER **DATE OF INSPECTION**

Concerning: NEW HOME ADDRESS

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The inspection of the property listed above must be performed in compliance with the rules of the Texas Real Estate Commission (TREC); however, the form in use does **not** comply with the TREC rules. The subject property is a “new” home, and the purpose of the inspection is to identify all components which will require repairs, corrections and/or completion by the builder.

The inspection is of conditions which are present and visible at the time of the inspection, and all of the equipment is operated in normal modes. The inspector must indicate which items are in need of repair or are not functioning and will report on all applicable items required by TREC rules.

This report is intended to provide you with information concerning the condition of the property at the time of the inspection. Please read the report carefully. If any item is unclear, you should request the inspector to provide clarification.

Since this report is provided for the specific benefit of the client(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

The purpose of this report is to document the results of a visual inspection on the residential building located at the above address, and to render an opinion as to the integrity of the structural and mechanical components. Any comments or recommendations regarding code compliance issues are based on the based on the “IRC2000 Code for One and Two-Family Dwellings”. Right/left, and front/rear are used as orientation terms (from a front view perspective of the home) for location of specific areas or items described in the report. “The terminology “performing the intended function” is used in the report and defined as: “Performing in an expected or required manner; carrying out the design purpose or intended operation of a part, system, component or member” (based on the Texas Standards of Practice for Real Estate Inspectors). Conditions requiring repairs, corrections, completion, and/or recognition will be underlined in the following report.

The subject home is a “new” two-story single family wood frame structure, with an attached garage. The exterior siding consists of brick veneer and cement-composite type fiberboard. The roof substructure is a hip type, purlin braced, and covered with OSB sheathing overlain by composition shingles. The foundation appears to be a post tensioned, “slab-on-grade” configuration.



Photographs: Digital photos are inserted throughout report, as necessary for proper report understanding.

FOUNDATION AND STRUCTURAL COMPONENTS

Foundation

At the time of inspection, the subject residence failed to exhibit any evidence of major foundation deformities, or abnormal structural movement (as a result of foundation movement). A foundation elevation survey was conducted, employing an electronic elevation measuring instrument (Compulevel), and a central reference point in the home; the maximum elevation difference measured across the area of the foundation was 1.0". Doors fit and operated properly, and no evidence of foundation induced movement (distress) was observed at the interior or exterior walls. The visible portions of the foundation perimeter were observed to be free of any cracks*, or construction deformities (typical minor "hairline" surface cracks* were observed at garage area).

Based upon the observations and measurements made at the time of the inspection, it is this inspector's opinion that the subject foundation appears to have been reasonably constructed, and is adequately performing the function for which intended to a reasonable degree, at this time. *However, it is not possible to guarantee and/or predict the future changes a foundation may be subjected to, including the associated effects on the structure.* The previous statement is of particular importance in a new home evaluation, as a limited degree of post-construction foundation settlement/movement (and associated structural movement) is typical. *If any significant changes in structural movement are observed at the interior or exterior walls in the future, a reevaluation is recommended.*

The "Soil Shrink-Swell Potential Map of Harris County Texas", published by the USDA Soil Conservation Service in 1976, indicates that the surface soils in the general area of interest are classified as having a moderate-to-high shrink-swell potential; however, an accurate determination of soil composition and characteristics would require a soil boring and analysis (soil test information required for foundation design, and should be obtained from builder). Soils of this type require proper site drainage and uniform moisture conditions around the foundation perimeter for foundation stability. For information regarding soil conditions and foundation stability, see article "Recommended Homeowner Foundation Maintenance Program for Residential Projects in the Houston Area", at the following website: www.geotecheng.com (click "Guidelines" under "Publications" at website sidebar).

This inspection report does not constitute a warranty and/or guarantee as to future life and/or performance of the foundation. It is recommended that Client confirm that the foundation/structure is covered by a 10-year warranty plan; this warranty (if applicable), should be issued at closing, and is normally transferable.

*Notes Regarding Foundation Cracks: Other cracks may be present in the foundation; however, no floor coverings were removed to determine the presence of cracks, and the foundation perimeter grade beams were visually obstructed in areas (soil, adjoining patios, shrubs, etc.). Truncated (diagonal) cracks or chips near foundation corners and/or minor surface cracks are generally typical, and not necessarily indicative of excessive foundation settlement.

Grading and Site Drainage

Generally level site; there were no visible conditions suggestive of site drainage deficiencies, at the time of the inspection. It is recommended that Client ascertain insurance rating as related to site elevation and possible flooding potential; however, flood insurance is recommended.

The following conditions were observed which could affect drainage, and should be corrected/improved:

- 1) It is recommended that all gutter downspouts be provided with proper diversion (splash blocks) away from the foundation.
- 2) It is recommended that the perimeter around the area drains be lined with coarse stone (sorted, 1-3" round river stone)

Roof Covering

Comments: The roof covering was viewed from ground level through binoculars, and from a ladder at edge of roof (several areas).

The visible portions of the composition shingles appeared to be in an acceptable condition, and were adequately performing the intended functions (no visible evidence of active leaks).

Roof Structure and Attic Conditions

ROOF STRUCTURE/FRAMING

The roof substructure exhibited no visible framing defects; however, the following conditions were observed, which will require framing corrections and improvements:

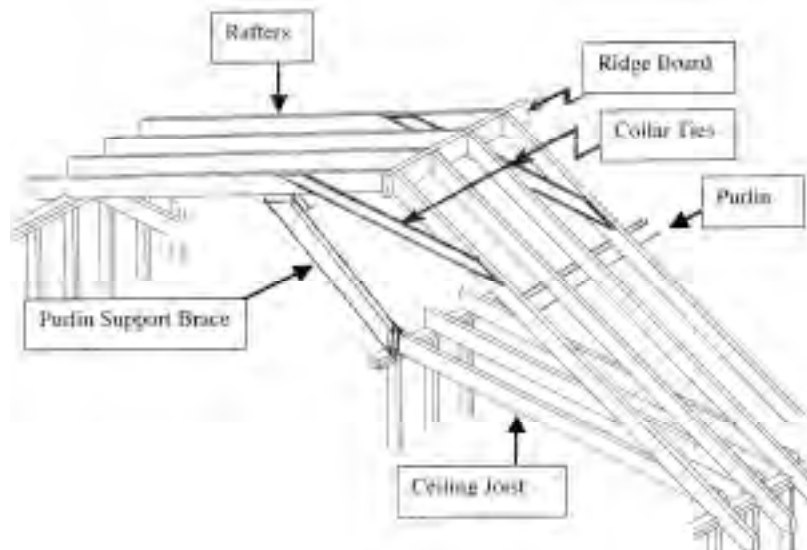
1) There were visible depressions (noticeable "sagging" effect) at the front pitch roof surface. This condition appeared to be caused by a combination of excessive horizontal rafter span conditions (14'-6" in one area) and the use of spliced rafters (see #2 following), additional bracing will be required to properly support the rafters (purlin bracing; see following drawing). The 2003 IRC building code (Table R802.5.1; Rafter Spans For Common Lumber Species) indicates that the maximum horizontal span for a 2"x6" rafter (#3 SYP) is 10'8" when rafter spacing is 19.2" O.C.

2) There were several spliced rafters used in the roof substructure construction, at both the front and rear pitch rafters. While some of the spliced rafters were supported with purlin bracing in the area of the "overlap", several rafters were not supported with bracing in the area of the splice. It is recommended that support bracing and/or additional reinforcement framing be added at the spliced ("overlap") areas.

3) The rear pitch roof surface was not visible from ground level, and the attic space in this area was not safe for access (due to insulation coverage). However, similar excessive horizontal rafter span conditions appeared to be present (14'+ in one area), additional bracing will be required to properly support the rafters in this area.

Design of roof framing modifications is beyond the scope of this report; therefore, it is recommended that the builder evaluate and add additional support bracing and/or reinforcement framing in the above identified areas. Structural modifications should be based upon currently accepted (2003 IRC) construction practices for minimum roof framing.

See following drawing for description of common framing members.



Note: The roof framing was evaluated from areas immediately adjacent to the attic opening, and from visible areas adjacent to HVAC equipment.

Roof Structure and Attic Conditions; continued**INSULATION**

The visible ceiling insulation (approximately 11 " depth; fiberglass) appeared to be in an acceptable condition in visible attic areas (above living areas) ; however, several insulation conditions should be corrected/improved:

- 1) It is recommended that the official insulation certificate in the attic area be properly completed.
- 2) There were no visible insulation depth markers in the rear portion of the attic; it is recommended that insulation depth markers be installed every 300 square feet, as per the IRC2000 construction codes (SECTION N1101.3.1).
- 3) The insulation coverage was not uniform at the insulated wall partitions in the attic area (several insulation batts were loose/detached); insulation improvements are recommended, for uniform coverage. It is also recommended that the insulation batts be **properly** secured with plastic netting or strapping material.

Walls (Interior and Exterior)**INTERIOR WALLS**

At the master bathroom area, the wall adjacent to the shower enclosure (see red tag in area) was not properly secured/supported by framing; the drywall could be easily pushed inward, separating from the adjoining tile enclosure. Wall framing modifications are recommended.

Typical "cosmetic defects" were observed at the walls and trim. Conditions of this type are subjective and were **not** evaluated; however, should be identified by Client with builder (at "walk through"), and corrected/improved, prior to closing.

Note: Following construction, there may be various conditions of minor foundation movement, post-construction framing movement and/or trim shrinkage occurring at the interior walls and trim, including: minor separation at wall or ceiling corner joints, minor drywall cracks at window/doorway openings, and/or separation at trim joints. These conditions are typical, and should be anticipated.

EXTERIOR WALLS

Brick Veneer: At the time of inspection, there were no visible defects; however, it is recommended that the following conditions be corrected:

- 1) The expansion joints were not properly sealed; it is recommended that the expansion joints at the right and left elevation walls be fully sealed with an elastomeric sealant compound, as per currently accepted building codes (ACI/ASCE) for masonry wall construction.
- 2) There were no "weep holes" at the lintels (horizontal steel beams above doors/windows); these openings are necessary for preventing moisture entrapment in these areas, and are required, based on current generally accepted building specifications (ACI/ASCE) for masonry wall construction.

Siding/Trim/Eaves (Soffits/Fascia): At the time of inspection, there were no visible significant defects observed. However, many of the nails at the cement-composite type siding were not installed properly (nails had excessive or inadequate penetration); this condition could affect the manufacturer's warranty, and should be corrected, in compliance with manufacturer's installation specifications.

Ceilings, Floors and Stairs

CEILINGS: At the master bathroom area, an area of the ceiling adjacent to the shower enclosure was defective and moist; it is recommended that the defective area be removed, the moisture source identified and repaired as necessary, and the defective drywall replaced. When completed, the repaired area should be indistinguishable from adjoining ceiling surfaces.

FLOORS

Downstairs Floors (foundation surface): At the time of inspection, no excessively unlevel areas were observed; see preceding "Foundation" section.

Upstairs Floors (wood frame): At the time of inspection, there were no visible defects observed, or the visible appearance of excessively unlevel areas, and the components appeared to be adequately performing the intended functions.

Note: Floor coverings were not evaluated (including wood and tile, if present).

STEPS, STAIRWAYS AND RAILINGS: These components were properly constructed and adequately performing the functions for which intended.

Doors (Interior and Exterior)

At the time of inspection, the components appeared to be adequately performing the intended functions; however, it is recommended that the following conditions be corrected:

- 1) A surface defect was observed at the front/upstairs bedroom door; replacement recommended.
- 2) There was no self-closing unit at the interior garage door (required by current generally accepted fire safety/construction practices).

Windows

At the upstairs hallway bathroom, the window (see red tags on window) could not be closed and latched; adjustment for proper operation and fit recommended.

It is recommended that the windows be cleaned, and screens installed at all windows.

Note: Generally, the builder replaces any defective glazing, installs screens and cleans windows, just prior to closing. At the time of inspection, there was no visible evidence of glazing (thermal-type) seal defects observed; Client is advised that thermal seal failure is common in this type of glazing, and that most manufacturers provide some type of glazing warranty.

Porches, Driveways, and Garages

Comments: No significant defects were observed in these areas.

Other General Conditions

This report does **not** address wood destroying insects. Client is advised to have the home inspected annually by a licensed Structural Pest Control inspector, for the presence of wood destroying insects, or any associated wood rot or damage caused by these organisms.

Blueprints/Building Plans/Appliance & Equipment Information and Warranties: It is recommended that Client obtain all applicable manufacturer's information and warranties, for all appliances/equipment installed in the subject home. While some builders may restrict the release of their architectural drawings (blueprints), it is recommended that Client make every effort to obtain a full set of the building plans.

Testing and/or assessment of the structure for environmental hazards, indoor air quality (IAQ), allergens and/or toxic/hazardous materials (including, but not limited to: radon, lead, chemical, mold/mildew, and other biological contaminants) is beyond the scope of this inspection. These conditions will **not** be addressed in this report; however, there were no visible conditions of mold or mildew observed at the time of inspection. Information regarding mold/mildew and indoor air quality (IAQ), is available at the EPA website: <http://www.epa.gov/iaq/molds/index.html>.

Upstairs Bathroom: A drawer was missing at the sink cabinet; replace.

The pulldown-type ceiling stairway unit was not installed properly; the nails at the frame connection to the ceiling framing were inadequate in number and size (based on manufacturer's specifications). Proper installation recommended.

MECHANICAL COMPONENTS AND APPLIANCES

ELECTRICAL SYSTEMS

Service Entrance and Panels

ELECTRICAL HAZARD: A PANEL SCREW CONTACTS WIRING (MAIN CONDUCTOR) WHEN INSTALLED (SEE RED TAG); CORRECT. NOTE: SCREW LEFT INSIDE OF PANEL.

THE 30 AMP A/C CIRCUIT BREAKER WAS OVERSIZED, BASED ON THE CONDENSER UNIT SPECIFICATIONS WHICH THIS CIRCUIT SERVES (20AMP MAXIMUM BREAKER SPECIFIED AT UNIT); IT IS RECOMMENDED THE 30AMP BREAKER BE REPLACED WITH A 20 AMP BREAKER.

CIRCUITS WERE NOT IDENTIFIED ON SERVICE PANEL; CORRECT.

"WHITE" WIRING IN USE AT 220V CIRCUITS IS REQUIRED TO BE IDENTIFIED WITH BLACK OR RED; CORRECT.

NOTE: 200 AMP MAIN SERVICE PANEL WAS LOCATED AT THE GARAGE (INTERIOR); 4/0 ALUMINUM (OVERHEAD) MAIN ENTRANCE WIRING (120/240V SERVICE).

Electrical: Branch Circuits, Connected Devices and Fixtures

Comments: COPPER BRANCH WIRING IN USE.

REQUIRED GAS PIPE GROUNDING AT WATER HEATER (IN ATTIC): INSTALLATION OF REQUIRED GROUND CONDUCTOR AT THE METAL GAS PIPING IS RECOMMENDED.

NOTE: IRC: E3509.6, AND .7 (METAL; WATER AND GAS PIPE GROUNDING).

MASTER BATHROOM OUTLETS: AN OUTLET RECEPTACLE IS REQUIRED WITHIN 36" OF EACH SINK LOCATION (BASED ON NEC CODE; SECTION 210-52-D); INSTALLATION OF ADDITIONAL OUTLET RECEPTACLE RECOMMENDED.

KITCHEN: AN ADDITIONAL COUNTERTOP OUTLET/RECEPTACLE IS REQUIRED AT THE RIGHT SIDE OF THE SINK (BASED ON NEC CODE; SECTION 210-52-C); INSTALLATION OF ADDITIONAL OUTLET RECEPTACLE RECOMMENDED.

ADVISORY: ELECTRICAL SYSTEMS AND COMPONENTS NOT INSPECTED (IF PRESENT) INCLUDE: SECURITY AND FIRE PROTECTION SYSTEMS, EXTERIOR LANDSCAPE LIGHTING, SPEAKERS, TELEPHONE AND CABLE TELEVISION WIRING, AND ANTENNAS.

HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Heating Equipment

Type and Energy Source: HVAC SYSTEM FORCED-AIR TYPE; GAS.

COMPONENTS WERE **NOT** TESTED (GAS PIPING TO UNIT WAS DAMAGED). FOLLOWING GAS PIPING REPAIRS, TESTING BY A QUALIFIED HVAC SPECIALIST IS RECOMMENDED

Cooling Equipment

Type and Energy Source: HVAC SYSTEM FORCED-AIR TYPE; ELECTRIC.

SYSTEM WAS NOT COOLING PROPERLY (TEMPERATURE DIFFERENTIAL: 7 DEGREES). EVALUATION, REPAIRS AND SERVICE BY A QUALIFIED HVAC SPECIALIST IS RECOMMENDED (EVALUATION FOR SYSTEM REFRIGERANT LEAK IS RECOMMENDED).

EXTERIOR: IT IS RECOMMENDED THAT THE CONDENSER CONCRETE SUPPORT PAD BE RAISED AT LEAST 3" ABOVE GRADE LEVEL.

ADVISORY: SYSTEM TEMPERATURE DIFFERENTIAL IS A MEASUREMENT OF SYSTEM AIR TEMPERATURE IN (AT RETURN VENT), COMPARED TO AIR TEMPERATURE OUT (AT CEILING REGISTERS); THE TEMPERATURE DIFFERENTIAL SHOULD RANGE BETWEEN 16-22 DEGREES FOR A PROPERLY OPERATING SYSTEM. INDOOR AIR QUALITY (IAQ) IS NOT DETERMINED.

HVAC System: Ducts and Vents

SUPPLY DUCTS: VARIOUS AIR LEAKS WERE IDENTIFIED IN ATTIC AREA AT SUPPLY PLENUM/DUCT JOINTS; PROPERLY SEAL ALL DUCT JOINTS WITH MASTIC/SEALANT COMPOUND.

RETURN AIR: THE WALL PARTITIONS INSIDE OF THE RETURN "CHASE" WERE NOT SEALED, RESULTING IN UNFILTERED AIR ENTERING SYSTEM. IT IS RECOMMENDED THAT ALL WALL PARTITIONS INSIDE OF "CHASE" AREA BE PROPERLY SEALED.

PLUMBING SYSTEM

Water Supply System and Fixtures

Comments: PLASTIC-CPVC PIPING IN USE; PROPER PRECAUTIONS SHOULD BE TAKEN DURING FREEZING WEATHER CONDITIONS.

UPSTAIRS (SECOND FLOOR) BATHROOM; SINK: HOT WATER PRESSURE WAS ABNORMALLY LOW AT THE FAUCET FIXTURE; CORRECT.

MASTER BATHROOM SHOWER: 1) MANUFACTURED PANS OF THIS TYPE REQUIRE OPEN "WEEP" HOLES BETWEEN THE TILE ENCLOSURE AND PAN; IT IS RECOMMENDED THAT MANUFACTURER'S INSTALLATION SPECIFICATIONS BE REVIEWED FOR COMPLIANCE. 2) GLASS SHOWER ENCLOSURE; VARIOUS LEAKS IDENTIFIED (SEE RED TAGS); REPAIRS RECOMMENDED.

BATHTUBS: SERVICE ACCESS IS REQUIRED TO PIPING/VALVES, BASED ON CURRENT GENERALLY ACCEPTED CODES; CORRECT.

EXTERIOR (HOSE BIB) FAUCETS: INSTALLATION OF REQUIRED BACK-FLOW PREVENTERS RECOMMENDED.

Plumbing: Drains, Wastes, Vents

Comments: PIPING TYPE: PLASTIC-PVC

THE SYSTEM COMPONENTS PERFORMED THE INTENDED FUNCTIONS.

Water Heating Equipment (Report as in need of repair those conditions specifically listed as recognized hazards by TREC rules.)

Energy Source: Gas

Comments: Located in attic.

WATER HEATER: THE UNIT AND ASSOCIATED COMPONENTS PERFORMED THE INTENDED FUNCTIONS; HOWEVER, THE FOLLOWING CONDITIONS SHOULD BE CORRECTED:

- 1) IT IS RECOMMENDED THAT ALL INSULATION BE CLEARED FROM THE EMERGENCY DRAIN PAN.
- 2) EMERGENCY DRAIN PAN PIPING: 3/4" PIPING FROM PAN IS INADEQUATE IN SIZE (1" MINIMUM REQUIRED, BASED ON IRC CODE/SECTION P2801.5.1); CORRECT.

ADVISORY: TEMPERATURE & PRESSURE RELIEF SAFETY VALVE WAS TESTED, AND SHOULD BE TESTED BY OWNER EVERY THREE YEARS.

Hydro-Therapy Equipment

Comments: UNIT PERFORMED INTENDED FUNCTIONS.

WHIRLPOOL BATHTUB: THE BATHTUB WAS IMPROPERLY INSTALLED WITH INADEQUATE SUPPORT AT THE BASE (HIGHLY PERCEPTIBLE MOVEMENT AT TUB BOTTOM, WHEN STANDING IN TUB); IT IS RECOMMENDED THAT THE TUB BE REMOVED AND INSTALLED IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION SPECIFICATIONS.

ADVISORY: BATHTUB WHIRLPOOL UNITS REQUIRE MAINTENANCE (POSSIBLE HEALTH HAZARD); PERIODIC PROFESSIONAL CLEANING/STERILIZATION IS RECOMMENDED.

APPLIANCES

Dishwasher

Comments: UNIT PERFORMED INTENDED FUNCTIONS.

THE DISHWASHER DISCHARGE PIPING IS REQUIRED TO LOOP UP ABOVE THE SINK DRAIN LEVEL, AND BE SECURED; CORRECT.

Food Waste Disposer

ROTOR WAS SEIZED AND UNIT WAS INOPERABLE; UNIT REPLACEMENT RECOMMENDED.

Range Vent

THE UNIT WAS OPERATIONAL; HOWEVER, AIR WAS VENTING AT FRONT GRILL AREA OF UNIT (IMPROPER INSTALLATION; SHOULD VENT OUT VENT PIPING ABOVE VENT UNIT). PROPER INSTALLATION AND TESTING FOR PROPER EXTERIOR VENTING RECOMMENDED.

Ranges/Ovens/Cooktops

RANGETOP/OVEN UNIT (GAS): COMPONENTS PERFORMED INTENDED FUNCTIONS. HOWEVER, A DIFFUSER CAP WAS MISSING AT ONE OF THE BURNERS; REPLACE CAP FOR PROPER OPERATION OF BURNER.

ADVISORY: OVEN CLEANING CYCLES ARE NOT TESTED.

Microwave Cooking Equipment

Comments: UNIT PERFORMED INTENDED FUNCTIONS.

Bathroom Exhaust Fans

Comments: PERFORMED INTENDED FUNCTIONS.

Garage Door Operator

SAFETY RETRACTION FUNCTION (MANUAL LOAD-RESISTANCE TEST) DID NOT OPERATE PROPERLY; SAFETY HAZARD CONDITION. SERVICE/ADJUST FOR PROPER OPERATION.

PHOTO-ELECTRIC SENSOR UNITS WERE MOUNTED WITH EXCESSIVE CLEARANCE ABOVE FLOOR LEVEL (6" RECOMMENDED); CORRECT.

ADVISORY: THE PHOTO-ELECTRIC SAFETY RETRACTION FUNCTION OPERATED PROPERLY.

Door Bell and Chimes

Comments: PERFORMED INTENDED FUNCTIONS.

Clothes Dryer Vents

IN THE ATTIC AREA, IT IS RECOMMENDED THAT THE BASE OF THE ROOF JACK BE SEALED (AROUND VENT PIPING), TO PREVENT LINT ACCUMULATIONS IN ATTIC AREA.

Other Built-in Appliances

Comments: NOT PRESENT.

OPTIONAL SYSTEMS

Lawn Sprinklers

Comments: NOT PRESENT.

Swimming Pools/Spas and Equipment

Comments: NOT PRESENT.

Gas Lines/Piping

Comments: THE GAS PIPING WAS **NOT** PRESSURE TESTED BY THIS INSPECTOR; THE VISIBLE GAS PIPING WAS OBSERVED WITH NO PERCEPTIBLE GAS ODOR.

FURNACE: GAS PIPING (FLEXIBLE TYPE) WAS DAMAGED; REPLACEMENT RECOMMENDED.

THE GAS PIPING TO FURNACES AND WATER HEATERS HAD NO "DRIP LEG" FITTINGS; CORRECT.

ADVISORY: CURRENT IRC (AND PLUMBING CODES) REQUIRE THE GAS PIPING TO FURNACES AND WATER HEATERS TO INCLUDE A "DRIP LEG" FITTING (SEDIMENT TRAP; IRC SECTION G2419.4).

Security Systems

Comments: NOT TESTED OR EVALUATED.

Smoke Detectors

Comments: COMPONENTS PERFORMED INTENDED FUNCTIONS.

CERTIFICATION

I certify that I did inspect the subject residence on the date indicated at the head of this report, and that I have properly reported my findings and conclusions based upon my observations and experience. I further certify that the information contained in this report is based solely upon visible evidence and that no attempt was made to investigate possible latent defects not readily detectable from visual observation. No responsibility is assumed for events that occur subsequent to this inspection, and no warranty, expressed or implied, is hereby made.

Ronald D. Scott
TREC Licensed Inspector No. 1402
American Society of Home Inspectors (ASHI®); Certified Member No. 107082

THE INSPECTION: PURPOSE AND LIMITATIONS

The purpose of this report is to document the observations and **good faith opinions** of this Inspector, from a visual inspection of the subject property. The standards for the inspection will be based on: the Code of Ethics and Standards of the American Society of Home Inspectors (ASHI®); the IRC2000 Code for One and Two-Family Dwellings; and the Standards of Practice for Real Estate Inspectors (Texas Real Estate Commission Rules), except as noted. Normal aging, cosmetic defects, floor coverings, flooding, environmental hazards and/or toxic/hazardous materials (including, but not limited to: mold, mildew, lead, radon, asbestos, chemical, nuclear and other biological contaminants), pressure testing or use of combustible gas detection equipment for gas piping, soils analysis, wood destroying insects, and geological faults will not be addressed in this report.

It is extremely important that the Client recognize that this inspection report does not constitute a warranty and/or guarantee as to future life and/or performance of those components inspected, and does not address the insurability, efficiency, quality or durability of those components. The intent of the report is to express the Inspector's perceived impressions and opinions of the performance of those reasonably visible components observed on the day of the inspection. Compliance with government standards, local ordinances, statutes or restrictions, or with any other legal requirements, is also not within the scope and intent of this report. Any comments or recommendations regarding code compliance issues are based on the based on the "IRC2000 Code for One and Two-Family Dwellings".

No representation or comments are made concerning any latent defects or defects not reasonably observable at the time of the inspection. Repairs and/or painting may conceal defects which are not reasonably observable by the Inspector.

If a comment is made concerning the condition of any component, the Client is urged to contact a specialist to make further inspections or evaluations of that component, if Client intends to rely on this report. Client must notify the Inspector in writing of any complaints within thirty (30) days of inspection and must allow for reinspection of the subject component; otherwise, all claims for damages arising out of such complaints are waived by the Client.

Client, by accepting this report, or relying on it in any way, expressly agrees to the above limitations and disclaimers, and agrees to limit any future claims for damages to the amount of the inspection fee. This report was written to fulfill the specific objectives of the Client, and this inspector does not assume any responsibility, or liability, for the use of this report by any third party. No representation is made as to items not specifically commented upon.